



తెలంగాణ రాజ పత్రము
THE TELANGANA GAZETTE
PART-I EXTRAORDINARY
PUBLISHED BY AUTHORITY

No. 104]

HYDERABAD, WEDNESDAY, APRIL 11, 2018.

NOTIFICATIONS BY GOVERNMENT

—x—

MUNICIPAL ADMINISTRATION AND URBAN DEVELOPMENT DEPARTMENT

(Plg.I(1))

DRAFT VARIATION TO THE HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY FOR CHANGE OF LAND USE FROM RESIDENTIAL USE TO MANUFACTURING USE IN PUDLOOR VILLAGE, MEDCHAL (M), MEDCHAL DISTRICT - CONFIRMATION.

[G.O.Ms.No. 83, Municipal Administration & Urban Development [Plg.I (1)], 9th April 2018.]

In exercise of the powers conferred by sub-section (1) of Section 15 of Hyderabad Metropolitan Development Authority Act, 2008 (Act No. 8 of 2008), the Government hereby makes the following variation to the land use in the Notified MDP - 2031 vide G.O.Ms.No. 33, MA & UD Department, Dated: 24.01.2013, as required by sub-section (1) of the said section.

VARIATION

The site in Sy.Nos.619/P, 620/P & 622/P of Pudoor Village, Medchal (M), Medchal District, to an extent of Ac.2-00 Gts. or 8093.71 Sq. Mtrs (Net area 7764.49 Sq. Mtrs) which is presently earmarked for Residential use zone in the Notified MDP - 2031 vide G.O.Ms.No. 33, MA & UD, Dated: 24.01.2013 is now designated as Manufacturing Use zone for setting up Warehouse under Green Category, **subject to the following conditions.**

- a) The applicant shall comply with the conditions laid down in the G.O.Ms.No.168, dt: 07.04.2012 and G.O.Ms.No.33 MA, dt. 24.01.2013.
- b) The applicant shall obtain prior permission from HMDA before undertaking any development on the site under reference.
- c) The applicant is whole responsible if any discrepancy occurs in the ownership aspects & ULC aspects & if any litigations occurs, the change of land use orders will be withdrawn without any notice.
- d) The applicant has to handover the road effected area under 30.00 mtrs. wide master plan road to an extent of 329.22 Sq. Mtrs. to the concerned local body by way of registered gift deed at free of cost before release of building plans from HMDA.
- e) The applicant has to leave 3.00 mtrs green buffer strip towards designated Residential land use in order to segregate Industrial activity from the Residential activity.

- f) CLU shall not be used as proof of any title of the land.
- g) The applicant has to fulfill any other conditions as may be imposed by the Competent Authority.
- h) The change of land use does not bar any public agency including HMDA / Local Authority to acquire for any public purpose as per law.

SCHEDULE OF BOUNDARIES

- NORTH** : Existing 18.00 Mtrs wide BT road which is proposed as 30.00 Mtrs. wide Master plan road.
- SOUTH** : Sy.Nos. 620 (P) & 622 (P) of Pudoor (V).
- EAST** : Sy.Nos. 619 (P) & 622 (P) of Pudoor (V).
- WEST** : Sy.Nos. 619 (P) & 620 (P) of Pudoor (V).

DRAFT VARIATION TO THE HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY FOR CHANGE OF LAND USE FROM RESIDENTIAL USE TO MANUFACTURING USE IN NANDIGAMA VILLAGE, KOTHUR (M), RANGA REDDY DISTRICT - CONFIRMATION.

[G.O.Ms.No. 84, Municipal Administration & Urban Development [Plg.I (1)] 9th April 2018.]

In exercise of the powers conferred by sub-section (1) of Section 15 of Hyderabad Metropolitan Development Authority Act, 2008 (Act No. 8 of 2008), the Government hereby makes the following variation to the land use in the Notified MDP - 2031 vide G.O.Ms.No. 33, MA & UD Department, Dated: 24.01.2013, as required by sub-section (1) of the said section.

VARIATION

The site in Sy.Nos. 1941/P & 1942/P of Nandigama (V), Kothur (M), Ranga Reddy District to an extent of Ac. 3-37 Gts. or 15890.24 Sq.mts. (Net site area 15689.58 Sq. Mtrs.) which is presently earmarked for Residential use zone in the Notified MDP - 2031 vide G.O.Ms.No.33, MA & UD, dated: 24.01.2013 is now designated as Manufacturing Use zone for setting up unit for manufacturing coated synthetic PVC leather cloth under Orange Category, **subject to the following conditions.**

- a) The applicant shall comply with the conditions laid down in the G.O.Ms.No.168, dt: 07.04.2012 and G.O.Ms.No.33 MA, dt. 24.01.2013.
- b) The applicant shall obtain prior permission from HMDA before undertaking any development on the site under reference.
- c) The applicant shall maintain 3.00 mtrs. green buffer zone all round the site u/r so as to bifurcate the land use from Residential land use to Manufacturing use zone.
- d) The applicant has to handover the road affected area 200.66. sq mtrs. under proposed 60.00 mtrs. wide road of MDP - 2031 to the local body by way of registered gift deed at free of cost before release of building plans from HMDA.
- e) The applicant is whole responsible if any discrepancy occurs in the ownership aspects & ULC aspects & if any litigations occurs, the change of land use orders will be withdrawn without any notice.
- f) CLU shall not be used as proof of any title of the land.
- g) The applicant has to fulfill any other conditions as may be imposed by the Competent Authority.
- h) Consideration of CLU does not confer any title over the land.
- i) The change of land use does not bar any public agency including HMDA / Local Authority to acquire for any public purpose as per law.
- j) The applicant shall pay 33% penalty on DC Charges at the time of Building permission.

SCHEDULE OF BOUNDARIES

- NORTH** : Sy. Nos. 1941 / P of Nandigama (V).
- SOUTH** : Sy. Nos. 1942 / P & 1941 (P) of Nandigama (V) and proposed 60.00 mtrs. wide Masterplan road as per MDP - 2031.
- EAST** : Sy. Nos. 1941 / P & 1942 (P) of Nandigama (V).
- WEST** : Sy. Nos. 1940 & 1942 (P) of Nandigama (V).

DRAFT VARIATION TO THE HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY FOR CHANGE OF LAND USE FROM RESIDENTIAL USE TO MANUFACTURING USE IN PUDOR VILLAGE, MEDCHAL (M), MEDCHAL DISTRICT - CONFIRMATION.

[G.O.Ms.No. 85, Municipal Administration & Urban Development [Plg.1 (1)] 9th April 2018.]

In exercise of the powers conferred by sub-section (1) of Section 15 of Hyderabad Metropolitan Development Authority Act, 2008 (Act No. 8 of 2008), the Government hereby makes the following variation to the land use in the Notified MDP - 2031 vide G.O.Ms.No. 33, MA & UD Department, Dated: 24.01.2013, as required by sub-section (1) of the said section.

VARIATION

The site in Sy.Nos. 615/P, 616/P of Pudoor (Village), Medchal (M), Medchal District to an extent of Ac. 1-01.31 Gts. or 4179.38 Sq. Mtrs. which is presently earmarked for Residential use zone in the Notified MDP - 2031 vide G.O.Ms.No.33, MA & UD, dated: 24.01.2013 is now designated as Manufacturing Use zone for setting up unit for corrugated box and paper products under Green Category, **subject to the following conditions.**

- The applicant shall comply with the conditions laid down in the G.O.Ms.No.168, dt: 07.04.2012 and G.O.Ms.No.33 MA, dt. 24.01.2013.
- The applicant shall obtain prior Permission from HMDA before undertaking any development on the site under reference.
- The applicant is whole responsible if any discrepancy occurs in the ownership aspects & ULC aspects & if any litigations occurs, the change of land use orders will be withdrawn without any notice.
- The applicant has to leave 3.00 mtrs. green buffer strip towards designated Residential land use in order to segregate Industrial activity from the Residential activity.
- The applicant shall form 40 feet wide BT Road before release plans from HMDA.
- CLU shall not be used as proof of any title of the land.
- The applicant shall has to fulfill any other conditions as may be imposed by the competent Authority.
- The change of land use does not bar any public agency including HMDA / Local Authority to acquire for any public purpose as per law.

SCHEDULE OF BOUNDARIES

- NORTH** : Sy. Nos. 616 (P) of Pudur (V) & Existing Industry M/s. Pankaj Polytech Pvt. Ltd.
- SOUTH** : Sy. Nos. 615 (P) of Pudur (V).
- EAST** : Sy. Nos. 615 (P) & 616 (P) of Pudur (V).
- WEST** : Existing 40 feet wide kacha road.

DRAFT VARIATION TO THE HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY FOR CHANGE OF LAND USE FROM CONSERVATION USE TO MANUFACTURING USE IN PATHIGHANPUR (V), PATANCHERU (M), SANGA REDDY DISTRICT - CONFIRMATION.

[G.O.Ms.No. 86, Municipal Administration & Urban Development [Plg.1 (1)] 9th April 2018.]

In exercise of the powers conferred by sub-section (1) of Section 15 of Hyderabad Metropolitan Development Authority Act, 2008 (Act No. 8 of 2008), the Government hereby makes the following variation to the land use in the

Notified Masterplan for Erstwhile HUDA - 2021 vide G.O.Ms.No. 288, MA & UD Department, Dated: 03.04.2008, Kollur Zone, as required by sub-section (1) of the said section.

VARIATION

The site in Sy.Nos.221/ P of Pathighanpur (V), Patancheru (M), Sanga Reddy District to an extent of 25154.94 Sq Mtrs which is presently earmarked for Conservation use zone in the Notified Masterplan for Erstwhile HUDA-2021.vide G.O.Ms.No. 288, MA & UD Department Dated: 03.04.2008, Kollur Zone is now designated as Manufacturing Use zone for setting up unit for manufacturing of Hollow core slabs, precast coloumn, beams and walls, roof top solar power in MW under Green Category, **subject to the following conditions.**

- a) The applicant shall comply with the conditions laid down in the G.O.Ms.No.168, dt: 07.04.2012 and G.O.Ms.No.288, MA & UD, Dated: 03.04.2008.
- b) The applicant shall obtain prior permission from HMDA before undertaking any development on the site under reference.
- c) The applicant is whole responsible if any discrepancy occurs in the ownership aspects & ULC aspects & if any litigations occurs, the change of land use orders will be withdrawn without any notice.
- d) CLU shall not be used as proof of any title of the land.
- e) The applicant has to fulfill any other conditions as may be imposed by the Competent Authority.
- f) Consideration for CLU doesn't confer any title over the land.
- g) The change of land use does not bar any public agency including HMDA / Local Authority to acquire for any public purpose as per law.
- h) The applicant shall construct compound wall in between proposed site and existing sick industry before release of the building permission from HMDA.

SCHEDULE OF BOUNDARIES

- NORTH** : Sy. Nos. 221 / P of Pathighanpur (V) & 12.00 mtrs. wide internal road.
- SOUTH** : Sy. Nos.222 / P & 224 / P of Pathighanpur (V).
- EAST** : Sy. Nos. 221 / P of Pathighanpur (V).
- WEST** : Sy. Nos. 221 / P of Pathighanpur (V).

DRAFT VARIATION TO THE HYDERABAD METROPOLITAN DEVELOPMENT AUTHORITY FOR CHANGE OF LAND USE FROM CONSERVATION USE TO MANUFACTURING USE IN DASARLAPALLE VILLAGE, KANDUKUR (M), RANGA REDDY DISTRICT - CONFIRMATION.

[G.O.Ms.No. 87, Municipal Administration & Urban Development [Plg.I (1)] 9th April 2018.]

In exercise of the powers conferred by sub-section (1) of Section 15 of Hyderabad Metropolitan Development Authority Act, 2008 (Act No. 8 of 2008), the Government hereby makes the following variation to the land use in the Notified MDP - 2031 vide G.O.Ms.No. 33, MA & UD Department, Dated: 24.01.2013, as required by sub-section (1) of the said section.

VARIATION

The site in Sy.Nos.269/P, 272/P & 273/P of Dasarlapalle Village, Kandukur (M), Ranga Reddy District, to an extent of Ac. 3.2 Gts. or 12336.30 Sq.mtrs. which is presently earmarked for Conservation use zone in the Notified MDP - 2031 vide G.O.Ms.No. 33, MA & UD dated: 24.01.2013, is now designated as Manufacturing Use zone for setting up unit for Kraft Paper without Bleaching Process unit under Red category, **subject to the following conditions.**

- a) The applicant shall comply with the conditions laid down in the G.O.Ms.No.168, dt: 07.04.2012 and G.O.Ms.No.33 MA, dt. 24.01.2013.
- b) The applicant shall obtain prior permission from HMDA before undertaking any development on the site under reference.

- c) The applicant is whole responsible if any discrepancy occurs in the ownership aspects & ULC aspects & if any litigations occurs, the change of land use orders will be withdrawn without any notice.
- d) CLU shall not be used as proof of any title of the land.
- e) The applicant has to fulfill any other conditions as may be imposed by the Competent Authority.
- f) Consideration for CLU doesn't confer any title over the land.
- g) The change of land use does not bar any public agency including HMDA / Local Authority to acquire for any public purpose as per law.
- h) The applicant shall form the 12.00 mtrs. wide BT road before applying building permission from HMDA.
- i) The applicant shall submit land conversion from Agriculture purpose to Non-Agriculture purpose from RDO before applying the building permission to an extent of Ac. 0-27 Gts. in Sy.No. 272. (P).

SCHEDULE OF BOUNDARIES

- NORTH** : Existing 12.0 mtrs. wide kacha road towards Dasarlapally (V), Sy.Nos. 272 (P), 270, 269 (P) of Dasarlapally (V).
- SOUTH** : Sy .Nos.269 (P), 273 (P) of Dasarlapally (V).
- EAST** : Sy .Nos.274, 269 (P), 273 (P), of Dasarlapally (V).
- WEST** : Sy. Nos. 272(P), 269 (P) of Dasarlapally (V) and Village boundary of Nedhur.

ARVIND KUMAR,
Principal Secretary to Government.

—X—